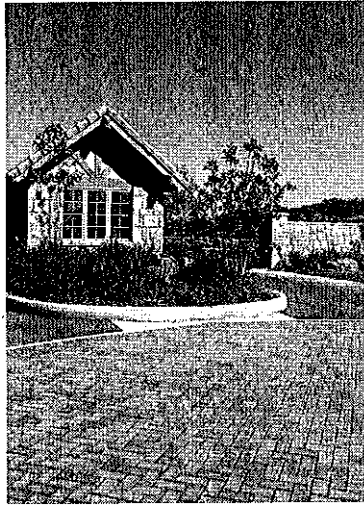


BUILDING PERMIT PACKET



CITY OF LAKE WINNEBAGO

June 8, 2022

GENERAL INFORMATION

This packet must be submitted to the Lake Winnebago City Clerk for new home construction, additions to existing homes, and remodeling projects.

Sections 4 thru 8 (pages 12 -20) must be completed by the contractor.

The packet must be signed by both the owner and the contractor (page 13).

In addition to the packet you must submit two sets of house plans and two copies of a plot plan, a **silt control plan must** be submitted with the permit application.

As part of new home construction, if you intend to construct or install a sea wall, sprinkler system, swimming pool, deck, patio, landscaping walls over 30 inches, or a fence, and they are not listed in this permit, then separate permits will be required.

All permits are issued for a period of 180 days. Permits are automatically renewed for an additional 180 days provided the project has commenced within the first 180 days and has not been interrupted for 180 days during the 360 day period. Either of the latter two conditions will require an application for a new permit.

Inspection fees cover the first inspection and one re-inspection. The City will require reimbursement for second rejections and beyond.

The contractor/owner also needs to contact the Lake Winnebago Home Owners Association. If they have not already done so.

Note: sections 1,2 & 3 are to be retained by contractor. Sections 4 thru 8 are to be submitted to the City Clerk

SECTION 1

Rules And Regulations For All Builders/Contractors **City Of Lake Winnebago**

1. Inspections Required During Construction:

- | | |
|--|---------------------------------|
| 1. Plot/Plan Verification | 9. Rough Electrical Inspection |
| 2. Footing Inspection | 10. Electric Meter Inspection |
| 3. Foundation Wall Inspection | 11. Mechanical Inspection |
| 4. Ground Plumbing Inspection | 11-A Mechanical Insp. Fire Code |
| 5. Temporary Electrical | 12. Gas Inspection |
| 6. Sewer Service Inspection/Grinder Pump | 13. Rough Plumbing Inspection |
| 7. Water Service Inspection | 14. Occupancy Inspection |
| 8. Framing Inspection | 14-A Occupancy Insp. Fire Code |
| 8-A. Framing Insp. Fire Code | 15. Flat Concrete Work |

It is the responsibility of the builder/contractor to request inspections to be made by the City Building Inspector, (816) 537-6778. **Twenty-four hour notice for inspections is required.** Failure to request an inspection without the twenty-four hour notice may result in a delay of the inspection and could result in an additional \$50 per inspection.

2. Litter Control:

Littering during construction is a violation of the anti-littering ordinance. The builder/contractor will be responsible for avoiding littering on the building site. Papers, cans, bottles, etc. shall be placed in containers or removed from the site. Spilling or tracking of dirt, mud, and rock or other material on the streets must be avoided. Outdoor burning is not permitted. During winter months, a burn barrel may be used for warmth. Only untreated wood can be burned. Permission to burn must be obtained from South Metro Fire Department (331-3008) by the contractor.

3. Uniform Building Codes:

The City follows the current issue of International Codes 2018: Building Code, Residential Code, Plumbing Code, Mechanical Code and Fire Code. The City follows the National Electric Code 2017. The City requires the following on all new homes and additions:

1. Fire Code sheetrock 5/8" between the garage and the living area of the house. (walls and ceiling where applicable).
2. Solid core door between garage and living area of home.
3. Smoke detector per City Building Official.
4. Ground fault interrupters in bathrooms, garage, sinks and outside.
5. Spark arrestors for fireplace.

4. **Sub-Contractors:**

Sub-contractor changes must be reported to the City Building inspector 24 hours in advance.

5. **Water/Sewer Taps:**

All contractors and sub-contractors required to install water and sewer service lines must contact the City to arrange a site meeting to select routes for the service lines prior **to any excavation**. The City Inspector must review the completed trench excavation with pipes in place but not covered and the city water or sewer line uncovered but not tapped.

6. **Architects/Engineer's Seal:**

All building plans shall bear the seal of a Missouri Registered Architect or Engineer. Seals shall be original on each sheet of the plan set and signed. Reproduced or blueprinted seal impressions are not acceptable. A Structural Engineer stamp is required for suspended concrete slabs.

7. **Plot Plans:**

All plot plans shall be prepared in accordance with the plot plan information shown in Section 2.

8. **Work Hours/Noise:**

The contractor and owner further agree to confine work to between the hours of 8:00a.m. and 5:00p.m. Monday through Friday, except no work shall be done on legal holidays. Work on Saturday and Sunday (8:00a.m. to 5:00p.m.) may be permitted by request to the City Building Official. Rock scraping may only be done Monday-Friday from 8:00am – 5:00pm. No exceptions. Extended summer hours may be granted upon request.

9. **Access to Lot Under Construction:**

It is required that a **graveled access be provided for all traffic on the lot under construction**. Permission must be obtained from City and property owner for any disturbance of adjacent lots. City ordinance restricts driving or parking on anything but paved streets.

10. **Steel Track Vehicles:**

Steel track vehicles must be unloaded/loaded on the lot under construction. Any encroachment on street or curb will result in fine up to \$500.

11. Silt Control:

Silt/erosion on the lot, which directly affects the lake, streets, or adjacent lots must be controlled per the document provided by the City of Lake Winnebago. Non-compliance will result in a fine against the mud deposit and issuance of a stop work order.

Any dirt, mud, gravel, or concrete that is tracked on the streets must be cleaned the same day it occurs. Failure to comply will result in a **\$50 fine per day against the mud deposit**. **If not done within 24 hours the** City will clean it up and charge the mud deposit.

Silt fences will be monitored. Any silt fences that are not maintained, the contractor/homeowner will be contacted. If the silt fence is not fixed within 24 hours of contacting the responsible party, a fee will be applied against the mud deposit.

12. Concrete Truck Washout:

All dumping of excess concrete and wash out of concrete trucks must be done on the lot under construction.

13. Disturbed Ground:

All areas disturbed during construction must be cleaned of litter or debris (including rocks that have been unearthed), graded and seeded. This includes all water, gas and sewer taps, and adjacent lots used to store material or access the lot under construction. The City can require that this be done at any time depending on weather conditions that facilitate reseeding or sodding. If sod is used it is the responsibility of the contractor to provide adequate watering.

14. Backflow Preventers:

All new residential and all existing residential houses must have backflow prevention devices installed downstream from the meter when the house water system is used for any of the following purposes:

- Hose bib in unfinished basement
- Water makeup for swimming pool
- Fire sprinkler system
- Irrigation/sprinkler system

15. Landscaping:

All yards must be finished with grass sod. No seeding is allowed. This must be accomplished within 3 months of a temporary occupancy. Silt control must be adequately maintained until landscaping is complete.

Note: it is the responsibility of the general contractor to assure that all sub-contractors comply with above requirements.

BUILDING PERMITS
BUILDING PACKET PLUMBING REQUIREMENT
HAS CHANGED

ITEM NUMBER 10 of SECTION 8: WATER PIPING (COPPER TUBING REQUIRED)
HAS BEEN CHANGED TO:
(COPPER TUBING OR CROSS LINKED POLYETHYLENE REQUIRED)

The City Engineer has determined, after two years of testing two test homes in the City of Lake Winnebago, that PEX tubing is acceptable for new and remodel construction. The tubing must be stamped with the Manufacturer, Listing Agency and Chlorine rating, ASTM Standard, Standard Dimension Ratio, Pressure/Temperature Rating, OD Size and Production Code.

The manufacturers gage must be used to check fittings.

Pipe Straightener Supports are required.

Stud nail guards are required.

Universal Slider Brackets are required, at least two on a 8 or 9 foot wall.

Tubing is not to be nailed vertically to studs.

Clamp every joist and every 18" of run.

18' minimum copper is required at the water heater.

Pressure Regulator and Expansion Tank is required. System must be pressure tested and inspected to 100 PSI for one hour.

Universal Slider Brackets are required at all showers and tubs.

The stool pipes exposed to the room must be copper.

One inch copper or pex is required from the main to the meter. Meter is to be installed in the home by the city public works department.

City Of Lake Winnebago

Building Official

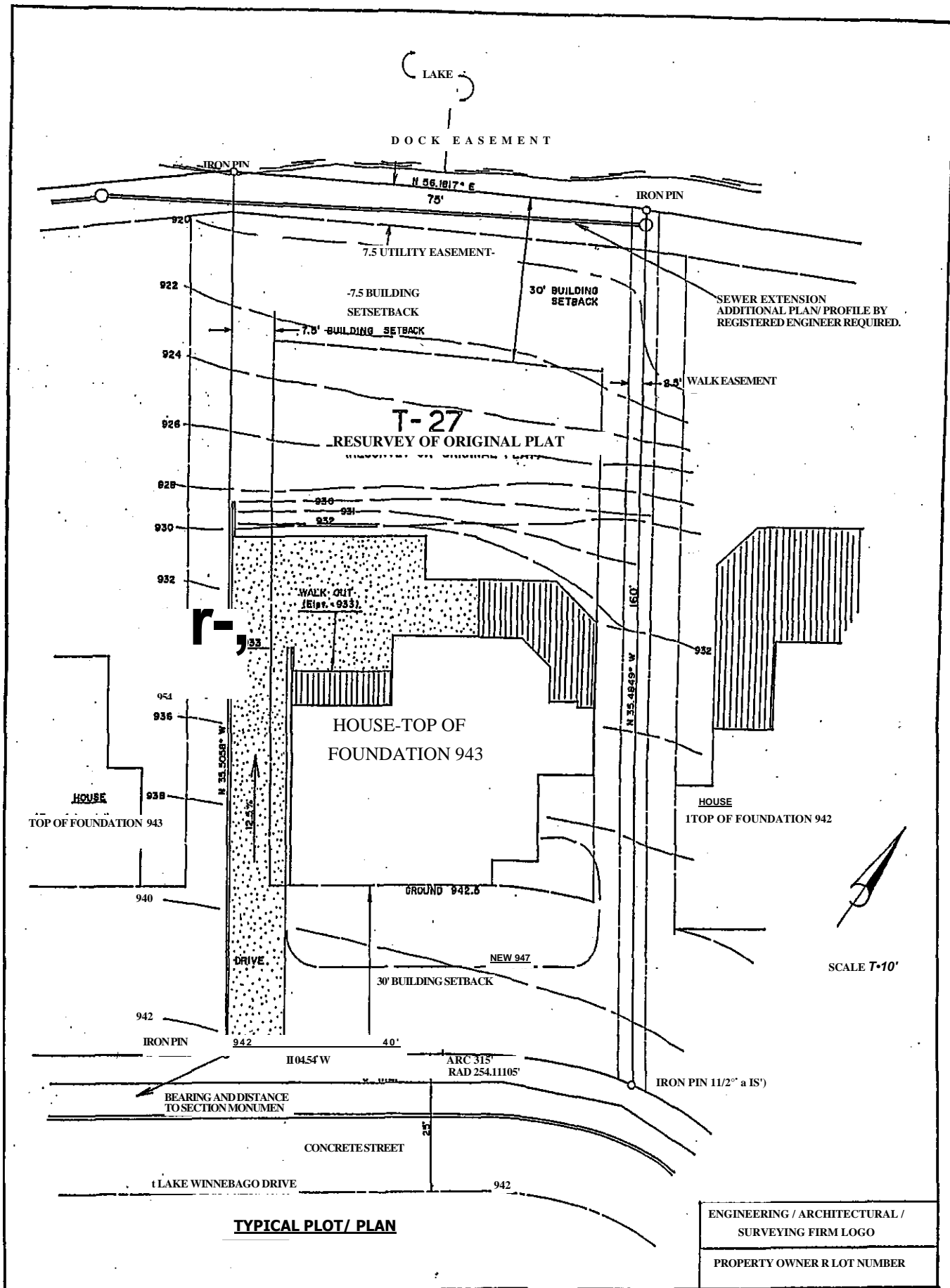
SECTION 2

HOUSE & PLOT PLAN DRAWING INFORMATION SHEET

The City of Lake Winnebago requires that a complete plot plan drawing accompany house plans submitted to the City in an application for a building permit. Plot plan drawing must contain the information listed below where applicable to the individual situation. The following sample plot plan sheet reflects this information and illustrates the general configuration and quality required by the City.

1. Size for **house plans** : 1 18" x 24" Scale: 1/8" = 1'
And 1 24" x 36" Scale: 1/4" = 1'
Size for **Plot plans**: 2 no smaller than 11X17 no larger than 24"X36" Scale: 1"=10'
2. Develop usgs msl contour lines - two-foot intervals. Local bench marks available at City Hall.
3. Locate proposed house (structure) on lot and locate nearest side of adjacent houses.
4. Locate street, identify paving, show centerline elevation and location.
5. Locate other adjacent man made or natural features such as drainage structures, creeks, etc.
6. Show top of foundation elevations for proposed house and adjacent houses.
7. Delineate proposed yard grading.
8. North arrow required.
9. Delineate all easements and dimension.
10. Delineate all building setback lines and dimension.
11. Delineate lot lines noting markers found and set. Iron pins are required at corners. Show lot numbers.
12. Usgs delineate or indicate direction to: water line, sanitary sewer or forced main, electric line, telephone line from house.
13. Delineate proposed water and sewer extensions to serve lot. **Note** that a registered engineer must prepare separate plans for water/sewer extensions.
14. Show existing and proposed storm water runoff channels and culverts. Proposed construction may not divert runoff without approval by the City. A **registered engineer must do culvert sizing**.
15. A Missouri registered land surveyor shall prepare plot/plans. Company logo or individuals' name shall be shown on the bottom right corner with the date of preparation. In addition the following certification shall be on the plot plan.

"I (*SURVEYOR'S NAME*) **do hereby** certify that the plat of survey shown on this sheet is based on an actual survey made under my direct supervision and that said survey meets or exceeds the current minimum standards for property boundary surveys as adopted by the Missouri Board for Architects, Professional Engineers and Land Surveyors."



SILT FENCE* INSTALLATION

*(Siltation fence can be purchased at many building supply and hardware stores in the area. The fence is available with the wooden stakes already stapled to the woven fabric screen. The fabric and posts can be purchased in various lengths for the purchaser's convenience.)

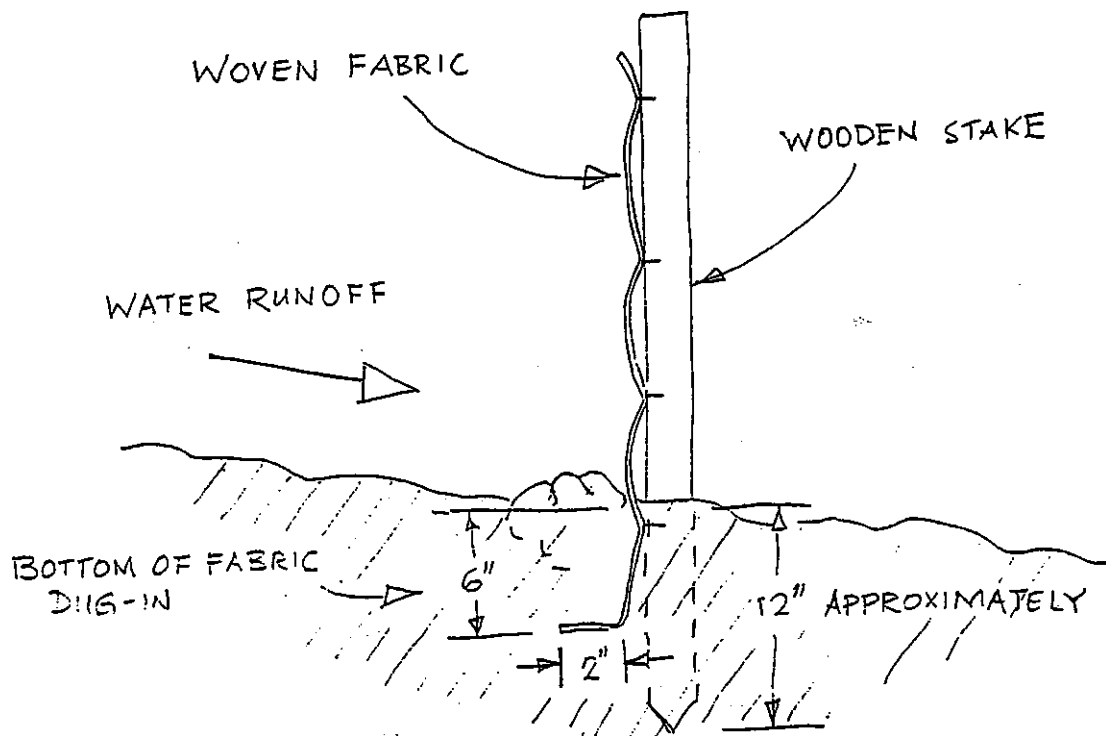
1. Align fence on the ground so that it is perpendicular to the flow of runoff water on the property where the ground is to be disturbed.
2. Locate the fence so that it is on the owner's property and not on other private, H.O.A., or City property.
3. The fence should be located so that all runoff water passes through the silt fence before leaving the property. All silt runoff must be contained on the owner's property.
4. Stretch out the fence so that the wooden stakes are on the back (downhill) side of the silt fence.
5. Drive the wooden stakes into the ground to a depth that allows for the bottom of the fabric to be dug in or "toed-in" to the ground. (See Sketch "A" for details)
6. "Toed-in" refers to digging a shallow trench directly beneath the fabric so that the bottom of the fabric is 6 inches deep in the vertical direction and laying 2 inches flat in the horizontal. The 2 inch section must be pointing up hill as shown in Sketch "A". Cover up the buried screen with the loose dirt and then step on the dirt to firm it up.

NOTE: The bottom of the fence fabric **must** be dug-in at the bottom. If the fabric is not dug-in, the silt and water will run under the fence and onto other properties or into our lake.

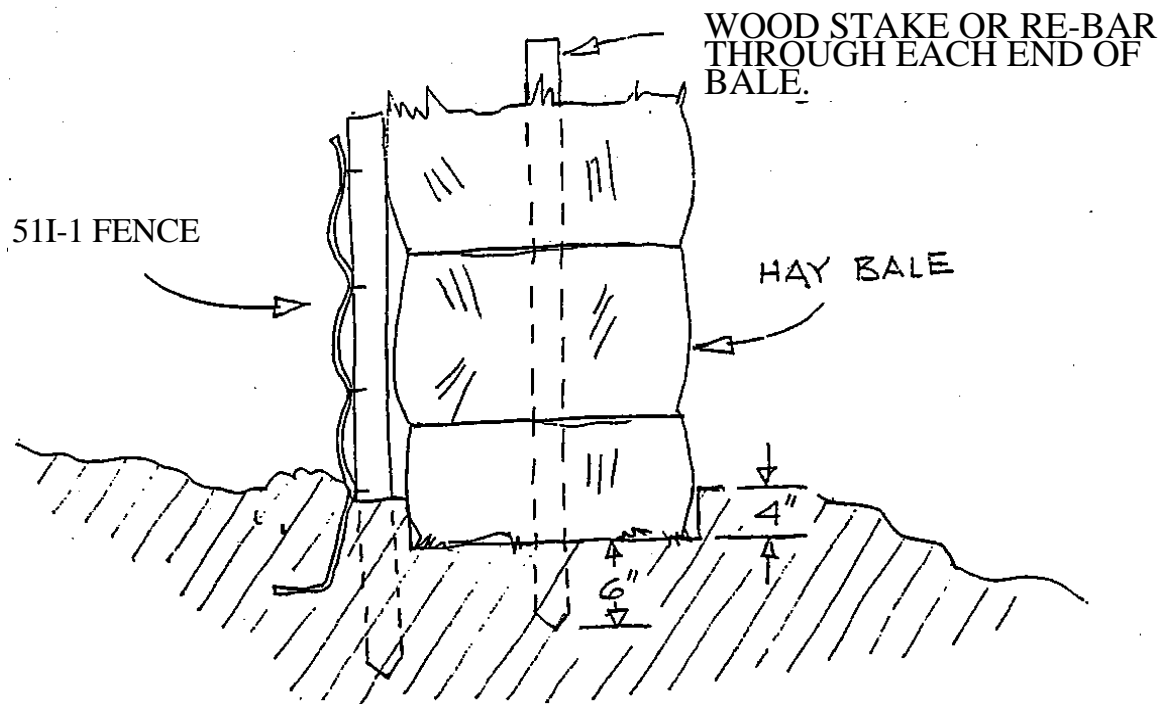
7. If the lay of the land is steep, a siltation fence may not be strong enough to hold back the volume of water by itself. In these cases hay bales will be necessary to back up the siltation fence. (See Sketch "B" for details)
8. Level the ground on which the bales and silt fence will set. Install the silt fence as described above. Dig a 4 inch deep trench directly behind the silt fence and set the bales in the trench.
9. Hay bales must be placed in a line directly in back of the silt fence. The bales should touch the back side of the fence and be positioned so that the ends of the bales are tightly abutting each other. Drive two wooden stakes or steel re-bar through each bale and into the ground to a depth of 6 inches.
10. Any silt fences that are not maintained will be assigned a fee and applied against the mud deposit.

NOTE: All hay bales **must** be anchored in place with either stakes or re-bar.

Sketch "A"- Silt Fence



Sketch "B"- Silt Fence with Hay Bales as Backup



SECTION 3

Requirements to Relocate an Existing House

1. Contractor:

- license
- insurance
- route to be used
- size of house to be moved
 - length
 - width
 - height
- wheel loading
- residents sign off
 - route obstructions (i.e. trees)

A separate fee will be assessed that covers the relocation process

2. New location plans:

- a regular building permit must be submitted.

SECTION 4

PERMIT APPLICATION

PROPERTY DESCRIPTION:_____ LOT #_____
ADDRESS:_____

PROPERTY OWNER:_____
TELEPHONE:_____ Fax_____
EMAIL:_____

ARCHITECT:_____
TELEPHONE:_____ Fax_____
EMAIL:_____

CONTRACTOR:_____
TELEPHONE:_____ Fax_____
ADDRESS:_____
EMAIL:_____

The above listed owner approves this application and agrees to confine construction within their property boundary lines; to do only such work as is specifically authorized by this permit; to have said work done only by qualified and approved contractors and mechanics; to have all work properly supervised by a qualified and approved contractor; and to conform with the requirements of the City Building Codes, and all of the ordinances, rules and regulations of the City of lake Winnebago.

FEE:_____ Permit Number_____

APPROVED BY _____, BUILDING OFFICIAL.

DATE _____

S E C T I O N 5
STATEMENT OF UNDERSTANDING

We understand the issuance of this building permit is contingent on following all the regulations of the Uniform Building Code, which the City has adopted. Deviations from approved plans must be reviewed and approved in writing by the designated building official prior to starting of work.

Changes that are not submitted and approved, and violations of any rules and regulations can result in the City issuing a stop work notice. It is unlawful to not correct violations once notified as this can result in suspended Occupational License and/or Citations.

We have read and understand all the rules and regulations (Section 1) and agree to these conditions.

ACKNOWLEDGMENT: CONTRACTOR:_____

OWNER/BUYER:_____

DATE OF APPLICATION:_____

SECTION 6

GENERAL DESCRIPTIVE INFORMATION

AREAS: UNFINISHED BASEMENT FLOOR _____ SF
FINISHED BASEMENT FLOOR _____ SF
FIRST FLOOR _____ SF
SECOND FLOOR _____ SF
THIRD FLOOR _____ SF
GARAGE 1 _____ SF
GARAGE 2 _____ SF
PORCHES AND DECKS OTHER _____ SF
(i.e.: retaining wall, etc.) _____ SF

MINIMUM FLOOR AREA SINGLE STORY = 1700 SF
MINIMUM FLOOR AREA TWO STORY = 1200 SF PER FLOOR, 2400 SF TOTAL
MINIMUM FLOOR AREA 1 1/2 STORY = 1500 SF MAIN FLOOR, 2050 SF TOTAL
FLOOR AREAS APPLY TO LIVING SPACES ONLY.

HEIGHT:

STREET SIDE _____ FT

REAR SIDE _____ FT

THE BUILDING OFFICIAL SUBJECTS ALL PROJECTS TO PLAN REVIEW.

TOTAL EST. CONSTRUCTION COST = \$ _____

PERMIT FEES MAY BE BASED ON THE ABOVE LISTED COST OR THROUGH APPLICATION OF THE BUILDING VALUATION DATA AS PUBLISHED BY THE INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS, CURRENT YEAR.

SECTION 7

SUB-CONTRACTOR LISTING

INDIVIDUAL OR COMPANY NAME MUST BE SHOWN BUSINESS OR PERSON IN CHARGE & TELEPHONE NUMBER:

****All of the required sub-contractors must be listed and licensed
BEFORE this permit will be issued****

****ELECTRICAL** _____ PHONE: _____
MASTER LICENSE REQUIRED

****PLUMBING** _____ PHONE: _____
MASTER LICENSE REQUIRED

****HEATING/COOLING** _____ PHONE: _____
MASTER LICENSE REQUIRED

****SEA WALL** _____

****EXCAVATION** _____ PHONE: _____

****FOUNDATION** _____ PHONE: _____

****FRAME** _____ PHONE: _____

****ROOFING** _____ PHONE: _____

****CONCRETE FLAT WORK** _____ PHONE: _____

****SPRINKLER SYSTEM** _____

**** These trades require a City of Lake Winnebago Occupational License. The subcontractors must provide proof of workers compensation insurance or sign an affidavit of exemption.**

S E C T I O N 8

MATERIALS AND EQUIPMENT SPECIFICATIONS

1. FOOTINGS AND FOUNDATIONS:

| | | |
|---------------------------------------|-------|-----|
| FOOTINGS – CONCRETE STRENGTH - | _____ | PSI |
| REINFORCING STEEL – HORIZONTAL | _____ | |
| REINFORCING STEEL - VERTICAL - | _____ | |
| FOUNDATION WALL - CONCRETE STRENGTH - | _____ | PSI |
| REINFORCING STEEL – HORIZONTAL | _____ | |
| REINFORCING STEEL - VERTICAL ANCHOR - | _____ | |
| BOLT SPACING - | _____ | |
| INTERIOR FOUNDATION WALL – MATERIAL - | _____ | |
| COLUMNS – | _____ | |
| MATERIAL AND SIZE PIERS – | _____ | |
| REINFORCING - | _____ | |
| GIRDERS - MATERIAL AND SIZE - | _____ | |
| SILLS – MATERIAL - | _____ | |
| FOOTING DRAINS - | _____ | |
| TERMITE PROTECTION – | _____ | |
| BASEMENTLESS SPACE - GROUND COVER - | _____ | |
| INSULATION – WALLS - | _____ | |
| FOUNDATION VENTS - | _____ | |
| SPECIAL FOUNDATIONS - | _____ | |

NOTE: WING WALLS ARE NOT ALLOWED WITHIN SET BACK RESTRICTIONS.

2. CHIMNEYS:

| | |
|---|-------|
| MATERIAL | _____ |
| PREFABRICATED (MAKE AND SIZE) | _____ |
| FLUE LINING – MATERIAL | _____ |
| VENTS (MATERIAL SIZE) - KITCHEN COOKING | _____ |

3. EXTERIOR WALLS:

WOOD FRAME - _____ GRADE _____ SPECIES SIZE _____
BUILDING PAPER OR FELT: _____ WIDTH TYPE _____
SHEATHING _____ THICKNESS _____ SOLID: YES NO _____

4. FLOORING FRAMING:

JOISTS – GRADE _____ SPECIES _____ SIZE _____
GROUND SUPPORTED GRADE BEAMS _____ PIERS _____
BASEMENT SLAB THICKNESS _____

5. PARTITION FRAMING:

STUDS - GRADE _____ SPECIES _____ SIZE _____ SPACING _____
OTHER _____

6. CEILING FRAMING:

JOISTS - GRADE _____ SPECIES _____ SIZE _____
BRIDGING _____

**TWO ATTIC ACCESSSES (32" X 36") ARE REQUIRED FOR A MAIN LEVEL
HOMES OVER 2000 SQUARE FEET OR MORE**

7. ROOF FRAMING:

RAFTERS – GRADE _____ SPECIES _____ SIZE _____
ROOF TRUSS - GRADE _____ SPECIES _____ SIZE _____

8. ROOFING MATERIALS:

EXPLAIN TYPE OF SHEATHING, GUTTERS AND DOWN SPOUTS, FLASHING
AND ROOFING MATERIALS: _____

**NOTE: DOWNSPOUTS ARE PROHIBITED FROM CONNECTING TO
SANITARY SEWER**

9. PLUMBING:

HOUSE DRAIN (INSIDE) MATERIAL _____ SIZE _____

HOUSE DRAIN (OUTSIDE) MATERIAL _____ SIZE _____

10. WATER PIPING:

SILL COCKS _____ NUMBER _____

BACKFLOW PREVENTER - TYPE _____ SIZE _____

(COPPER TUBING REQUIRED)

11. GRINDER PUMP:

IF USED: DESCRIPTION _____

INSTALLER _____

12. INSULATION:

WALLS - MATERIAL _____ R- _____

CEILING - MATERIAL _____ R- _____

ROOF - MATERIAL _____ R- _____

(VAPOR BARRIER REQUIRED)

13. WALKS & DRIVEWAYS:

DRIVEWAY - BASE MATERIAL _____ THICKNESS _____ WIDTH _____

SURFACING MATERIAL _____ THICKNESS _____

(REBAR REQUIRED IF 4" THICK CONCRETE - 2 FT CENTERS)

FRONT WALK - MATERIAL _____ THICKNESS _____ WIDTH _____

SERVICE WALK - MATERIAL _____ THICKNESS _____ WIDTH _____

STEPS - MATERIAL _____

DRIVEWAY WIDTH FOR THE FIRST 11' BACK FROM THE CURB, CANNOT EXCEED 30',
(15' EACH FOR CIRCULAR DRIVES) IN ADDITION WINGS CAN BE ADDED NOT TO
EXCEED 2' ALONG THE CURB AND 3' ALONG THE DRIVEWAY.

14. LANDSCAPING:

DATE OF COMPLETING OF LANDSCAPING: _____

(SEE SECTION 1, ITEM 15)

15. HEATING SPECIFICATIONS

EQUIPMENT MANUFACTURER _____

HEATING SYSTEM - TYPE _____ RATING _____

VENTILATING EQUIPMENT - ATTIC FANS _____

KITCHEN EXHAUST FAN – SIZE _____

OTHER HEATING, VENTILATING OR COOLING EQUIPMENT -

16. AIR CONDITIONING:

EQUIPMENT MANUFACTURER _____

TYPE _____ RATING _____

17. ELECTRIC WIRING:

SERVICE RATING _____

NUMBER OF CIRCUITS _____

18. TERMITE PROTECTION:

TERMITE PROTECTION IS RECOMMENDED WITH A COMPLETE
SUB-SURFACE TREATMENT, BOTH EXTERIOR AND SUB-FLOOR, WITH AN
EPA APPROVED PESTICIDE APPLIED ACCORDING TO THE
MANUFACTURER'S RECOMMENDED APPLICATION RATE.

PLEASE INDICATE IF TREATED - YES _____ NO _____

IF YES - PESTICIDE _____

19. OTHER ON-SITE IMPROVEMENTS:

ALL EXTERIOR ON-SITE IMPROVEMENTS NOT DESCRIBED ELSEWHERE,
INCLUDING ITEMS SUCH AS **UNUSUAL GRADING, DRAINAGE STRUCTURES,
RETAINING WALLS OVER 30 INCHES HIGH, PATIOS, DECKS, FENCE, RAILINGS,
SEA WALLS, SPRINKLER SYSTEM, AND SWIMMING POOL** MUST BE LISTED TO BE
INCLUDED AS PART OF THIS PERMIT.

| | |
|-------|------------|
| _____ | COST _____ |
| _____ | COST _____ |
| _____ | COST _____ |

**IF ITEMS ARE NOT LISTED OR SHOWN ON PLANS,
ADDITIONAL PERMITS WILL BE REQUIRED FOR CONSTRUCTION.**